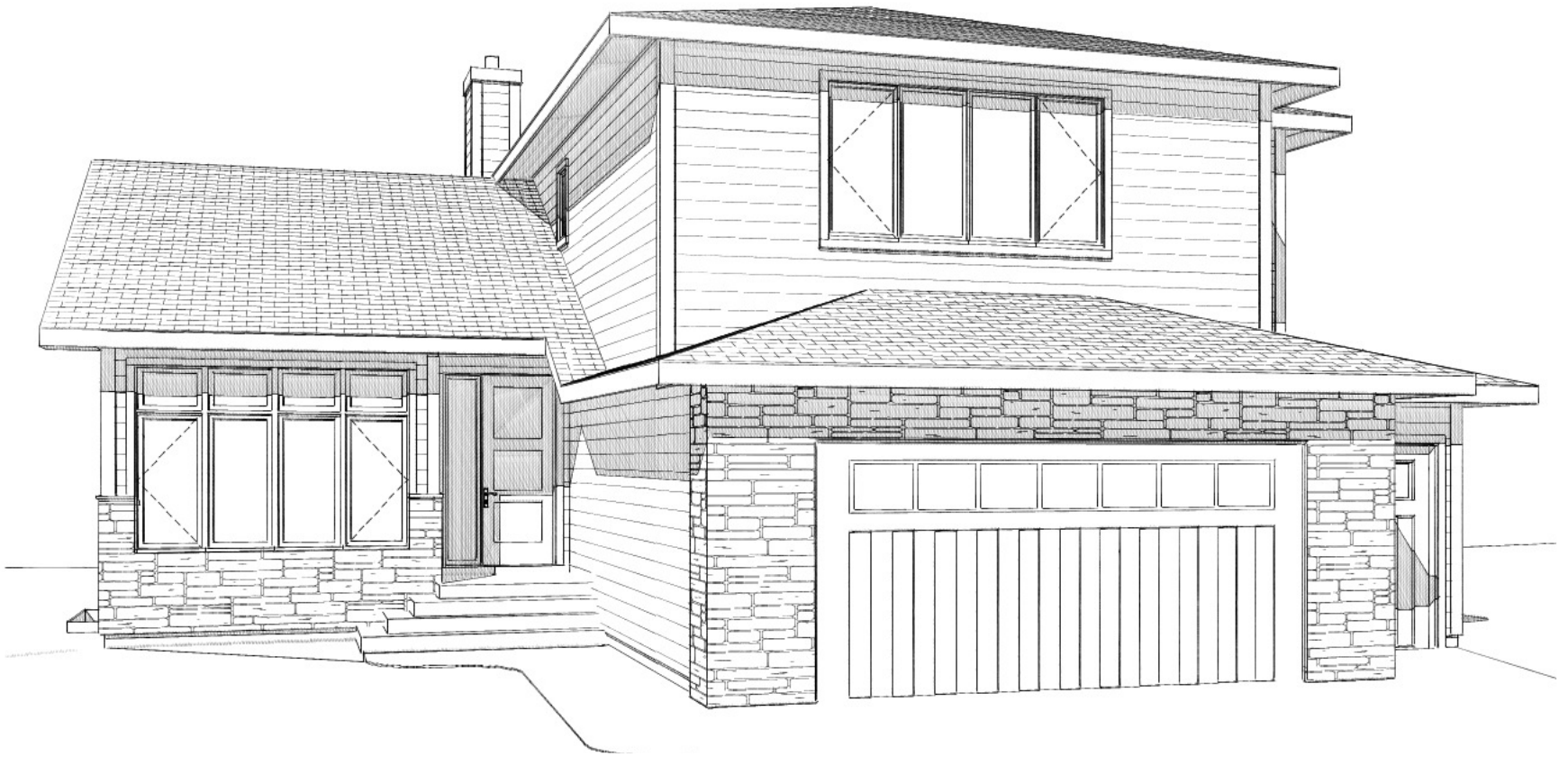


# HUNT RESIDENCE



## LIST OF DRAWINGS

- A01 TITLE PAGE
  - A02 NOTES / LEGENDS
  - A03 MAIN & UPPER FLOOR PLANS
  - A04 LOWER FLOOR & ROOF PLANS
  - A05 ELEVATIONS
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- 
- E01 MAIN & UPPER FLOOR ELECTRICAL
  - E02 LOWER FLOOR ELECTRICAL



PROJECT NAME:

HUNT RESIDENCE  
19/03/2010

SHEET TITLE:

TITLE PAGE

SCALE:

SHEET:

A01

**NOTICE :**

EVANS 2 DESIGN GROUP LTD., HAS TAKEN GREAT CARE IN THE PREPARATION OF THESE CONSTRUCTION DRAWINGS. HOWEVER SINCE BUILDING CODES MAY VARY WITH LOCATIONS AND MAY CHANGE WITHOUT NOTICE. EVANS 2 DESIGN GROUP LTD. DOES NOT GUARANTEE COMPLIANCE WITH ANY SPECIFIC CODES OR ORDINANCES. PURCHASERS ARE RESPONSIBLE FOR VERIFYING COMPLIANCE WITH LOCAL BUILDING CODES AND ORDINANCES AND FOR ANY MODIFICATIONS TO THE DRAWINGS THAT MAY NEED TO BE MADE TO COMPLY. PURCHASERS ARE ALSO RESPONSIBLE FOR VERIFYING SITE AND SOIL CONDITIONS AS WELL AS ALL DIMENSIONS AND SQUARE FOOTAGE CALCULATIONS BEFORE BEGINNING CONSTRUCTION. DESIGNERPLANS INC. SHALL NOT BE HELD LIABLE AND ASSUME NO RESPONSIBILITY FOR ANY HOME CONSTRUCTED FROM THESE PLANS.

THESE DRAWINGS ARE THE PROPERTY OF EVANS 2 DESIGN GROUP LTD. AND MAY NOT BE USED OR REPRODUCED WITHOUT PROPER AUTHORIZATION.

**GENERAL NOTES**

-ALL CONSTRUCTION IS TO COMPLY WITH THE LATEST EDITION OF THE LOCAL BUILDING CODE, AS WELL AS ALL OTHER CODES, BY-LAWS, AND ORDINANCES.

-TRUSS MANUFACTURER TO REPORT ALL CHANGES THAT AFFECT HEIGHTS, CLEARANCES, AND BEARING POINTS TO THE OWNER / BUILDER PRIOR TO MANUFACTURE.

-THESE PLANS SHOULD BE STUDIED AND USED IN THEIR ENTIRETY AS INFORMATION VITAL TO EACH STAGE OF CONSTRUCTION MAY APPEAR ONCE, OR ON MULTIPLE SHEETS.

- IF THE CONTRACTOR DISCOVERS A CONSTRUCTION DEVIATION FROM THE DRAWINGS, IT IS THE CONTRACTORS RESPONSIBILITY TO BRING THAT ISSUE INTO COMPLIANCE.

-THE GENERAL CONTRACTOR IS TO BE HELD SOLELY RESPONSIBLE FOR ALL WORK SHOWN OR REASONABLY IMPLIED BY THESE DRAWINGS. CONTRACTOR IS TO CONFIRM ALL DIMENSIONS, SITE CONDITIONS, DETAILS, AND SHALL IMMEDIATELY NOTIFY EVANS 2 DESIGN GROUP LTD. IN WRITING OF ANY DISCREPANCIES.

-DRAWINGS SHALL NOT BE SCALED, USE LABELED DIMENSIONS ONLY.

-PLANS, ELEVATIONS AND BUILDING SECTIONS TAKE PRECEDENCE OVER LARGER SCALED DRAWINGS. LARGER SCALED DRAWINGS SUCH AS DETAILS AND WALL SECTIONS ARE TO BE USED AS A GUIDELINE AND DO NOT NECESSARILY REFLECT THIS SPECIFIC PROJECT.

-EVANS 2 DESIGN GROUP LTD. IS NOT RESPONSIBLE FOR EQUIPMENT OR MATERIALS NOT SPECIFIED IN THESE DRAWINGS.

**PLAN NOTES**

-PROVIDE FOUNDATION WATERPROOFING WHERE EXTERIOR GRADE IS ABOVE CRAWL SPACE OR BASEMENT SLAB AND INSTALL 4" PERFORATED PLASTIC FOUNDATION DRAINS AND SLOPE TO STORM SEWER, ON SITE DRY WELL OR NATURAL DRAINAGE COURSES.

-BUILDER TO PROVIDE EXTERIOR FLASHING AROUND ALL CHIMNEYS, AT ALL CHANGES IN EXTERIOR MATERIALS, ABOVE ALL WINDOWS AND DOORS, AT ALL INTERSECTIONS BETWEEN WALLS AND ROOF, AND IN ALL ROOF VALLEYS. ANY ADDITIONAL BUILDING EXTERIOR SURFACE PENETRATIONS WITH POTENTIAL EXPOSURE TO WEATHER SHALL BE FLASHED AND / OR CAULKED AS PER CODE AND / OR INDUSTRY RECOGNIZED PROPER CONSTRUCTION TECHNIQUES. ALL ROOF SHINGLE FLASHING AGAINST A VERTICAL SURFACE MUST BE FLASHED WITH STEP FLASHING.

- WINDOW STYLES AND SIZES SHOWN ARE TO BE USED AS A **GUIDELINE** ONLY. EXACT DIMENSIONS, ROUGH OPENINGS AND DETAILS OF EXTERIOR DOORS AND WINDOWS ARE TO BE SUPPLIED BY THE WINDOW MANUFACTURER AND APPROVED BY HOMEOWNER. TOP OF EXTERIOR DOORS / TRANSOM SHOULD ALIGN WITH WINDOWS. CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING WINDOWS THAT MEET EGRESS AND TEMPERED GLASS REQUIREMENTS. ALL FRENCH DOORS, SLIDING GLASS DOORS, AND SHOWER ENCLOSURES AND DOORS SHALL BE TEMPERED GLASS WHERE REQUIRED.

-ALL ANGLED WALLS ARE AT 45 DEGREES UNLESS NOTED OTHERWISE.

-DOOR FROM HOUSE TO GARAGE TO INCLUDE WEATHER-STRIPPING AND SELF-CLOSER DEVICE. ALL EXTERIOR DOORS AND WINDOWS TO INCLUDE WEATHER-STRIPPING AS PER LOCAL BUILDING CODES AND GOOD BUILDING PRACTICES.

- KITCHEN LAYOUT IS TO BE USED AS A GUIDELINE ONLY. KITCHEN SUPPLIER TO HAVE FINAL LAYOUT AND DETAILS APPROVED BY HOMEOWNER.

- FINISHED FLOORING MATERIALS - SPECIFIED BY THE OWNER, TO BE FLUSH AND LEVEL, BUILDER TO BUILD UP FLOORS AS REQUIRED

- BLOCKING IS TO BE PROVIDED AT ALL CABINET LOCATIONS, AND ALL HARDWARE LOCATIONS INCLUDING TOWEL BARS AND TOILET PAPER DISPENSERS. CAVITIES TO BE PROVIDED AT RECESSED MEDICINE CABINET LOCATIONS. WALL TO BE RECESSED MINIMUM 2" BEHIND FRIDGE.

-BUILDER IS TO ENSURE THAT ROOF IS ADEQUATELY VENTED AS PER LOCAL BUILDING CODE. VENTS NOT TO BE PLACED IN HIGHLY VISIBLE LOCATIONS.

- BUILDER TO ENSURE FRAMING SUITS MECHANICAL ( FIREPLACES ), PLUMBING AND ELECTRICAL FIXTURES SPECIFIED AND SUPPLIED BY OTHERS.

- IT IS THE BUILDERS RESPONSIBILITY TO PROVIDE ADEQUATE ROOM FOR MECHANICAL CHASES, PLUMBING STACKS, ETC..

- BUILDER TO DETERMINE LOCATIONS WHERE SERVICES ENTER AND CONFIRM FINAL LOCATIONS WITH BUILDING OWNER.



















-HEIGHTS OF INTERIOR DOORS & PANEL STYLE TO BE DETERMINED BY HOME OWNER

- LOCATION OF MECHANICAL EQUIPMENT IS APPROXIMATE. FINAL LOCATION TO BE DETERMINED ON SITE AND APPROVED BY HOMEOWNER. EQUIPMENT TO BE SIZED AND SUPPLIED BY OTHERS.

- ALL STRUCTURAL INFORMATION IS TO BE USED AS A **GUIDELINE** ONLY. ALL STRUCTURE INCLUDING FLOORS, FOOTINGS, BEAMS, LINTELS, POSTS, TRUSSES, ETC.. TO BE SIZED AND SUPPLIED BY OTHERS TO MEET LOCAL STANDARDS / CODES AND REGULATIONS. LINTEL / BEAM REQUIRED @ ALL OPENINGS IN EXTERIOR AND LOAD BEARING WALLS.

- ELECTRICAL LAYOUT IS TO BE USED AS A **GUIDELINE** ONLY. FINAL PLACEMENT AND SPECIFICATION OF FIXTURES TO BE APPROVED BY HOMEOWNER. ELECTRICAL WIRING AND PLACEMENT OF OUTLETS AND SWITCHES TO BE DONE TO MEET LOCAL BUILDING CODES AND REGULATIONS. BUILDER TO PROVIDE ADEQUATE ELECTRICAL SERVICE FOR ALL APPLIANCES AND MECHANICAL EQUIPMENT AS REQUIRED.

**ELECTRICAL LEGEND**

-  CEILING MOUNTED FIXTURE
-  SMALL HALOGEN RECESSED POT
-  RECESSED PAR LAMP (POT LIGHT)
-  WALL SCONCE - HEIGHT T.B.D.
-  CEILING FAN
-  ZENON STRIP / U/S CABINET PUCK
-  SHOWER POT
-  110V OUTLET
-  220V OUTLET
-  GFI OUTLET
-  EXTERIOR WATERPROOF OUTLET
-  PHONE OUTLET
-  TV OUTLET
-  SWITCH
-  3 WAY SWITCH
-  4 WAY SWITCH
-  SMOKE DETECTOR
-  HOSE BIB

**STRUCTURAL LEGEND**

- SF 18" x 8" STRIP FOOTING
- PF1 30" x 30" x 8" PAD FOOTING
- PF2 36" x 36" x 8" PAD FOOTING
- LBN LOAD BEARING WALL
- BP BEAM POCKET
- PL POINT LOAD ABOVE
- DB DROPPED BEAM
- FB FLUSH FRAMED BEAM
- DJ DOUBLE JOIST
- GT GIRDER TRUSS
- LB LEDGER BOARD

**SECTION / ELEVATION NOTES**

-GRADE ELEVATIONS SHOWN DO NOT NECESSARILY REFER TO ANY SPECIFIC PIECE OF PROPERTY. THEY ARE FOR ILLUSTRATION PURPOSES ONLY AND MAY VARY. BUILDER IS RESPONSIBLE FOR ADAPTING THESE DRAWINGS TO SUIT THE EXISTING TOPOGRAPHY OF THE SITE.

-PROVIDE FOUNDATION WATERPROOFING WHERE EXTERIOR GRADE IS ABOVE CRAWL SPACE OR BASEMENT SLAB AND INSTALL 4" PERFORATED PLASTIC FOUNDATION DRAINS AND SLOPE TO STORM SEWER, ON SITE DRY WELL OR NATURAL DRAINAGE COURSES.

-BUILDER TO PROVIDE EXTERIOR FLASHING AROUND ALL CHIMNEYS, AT ALL CHANGES IN EXTERIOR MATERIALS, ABOVE ALL WINDOWS AND DOORS, AT ALL INTERSECTIONS BETWEEN WALLS AND ROOF, AND IN ALL ROOF VALLEYS. ANY ADDITIONAL BUILDING EXTERIOR SURFACE PENETRATIONS WITH POTENTIAL EXPOSURE TO WEATHER SHALL BE FLASHED AND / OR CAULKED AS PER CODE AND / OR INDUSTRY RECOGNIZED PROPER CONSTRUCTION TECHNIQUES. ALL ROOF SHINGLE FLASHING AGAINST A VERTICAL SURFACE MUST BE FLASHED WITH STEP FLASHING.

- WINDOW STYLES AND SIZES SHOWN ARE TO BE USED AS A **GUIDELINE** ONLY. EXACT DIMENSIONS, ROUGH OPENINGS AND DETAILS OF EXTERIOR DOORS AND WINDOWS ARE TO BE SUPPLIED BY THE WINDOW MANUFACTURER AND APPROVED BY HOMEOWNER. TOP OF EXTERIOR DOORS / TRANSOM SHOULD ALIGN WITH WINDOWS. CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING WINDOWS THAT MEET EGRESS AND TEMPERED GLASS REQUIREMENTS. ALL FRENCH DOORS, SLIDING GLASS DOORS, AND SHOWER ENCLOSURES AND DOORS SHALL BE TEMPERED.

-BUILDER IS TO ENSURE THAT ROOF IS ADEQUATELY VENTED AS PER LOCAL BUILDING CODE. VENTS NOT TO BE PLACED IN HIGHLY VISIBLE LOCATIONS.

-DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. CONTRACTOR TO VERIFY LOCATIONS WITH OWNER.

-CHIMNEYS SHALL EXTEND AT LEAST 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10'-0" OR AS PER LOCAL BUILDING CODE.

- ALL STRUCTURAL INFORMATION IS TO BE USED AS A **GUIDELINE** ONLY. ALL STRUCTURE INCLUDING FLOORS, FOOTINGS, BEAMS, LINTELS, POSTS, TRUSSES, ETC.. TO BE SIZED AND SUPPLIED BY OTHERS TO MEET LOCAL STANDARDS / CODES AND REGULATIONS. LINTEL / BEAM REQUIRED @ ALL OPENINGS IN EXTERIOR AND LOAD BEARING WALLS.

- BUILDER TO DETERMINE SERVICE LOCATIONS AND CONFIRM FINAL LOCATIONS WITH BUILDING OWNER



PROJECT NAME:

**HUNT RESIDENCE**  
19/03/2010

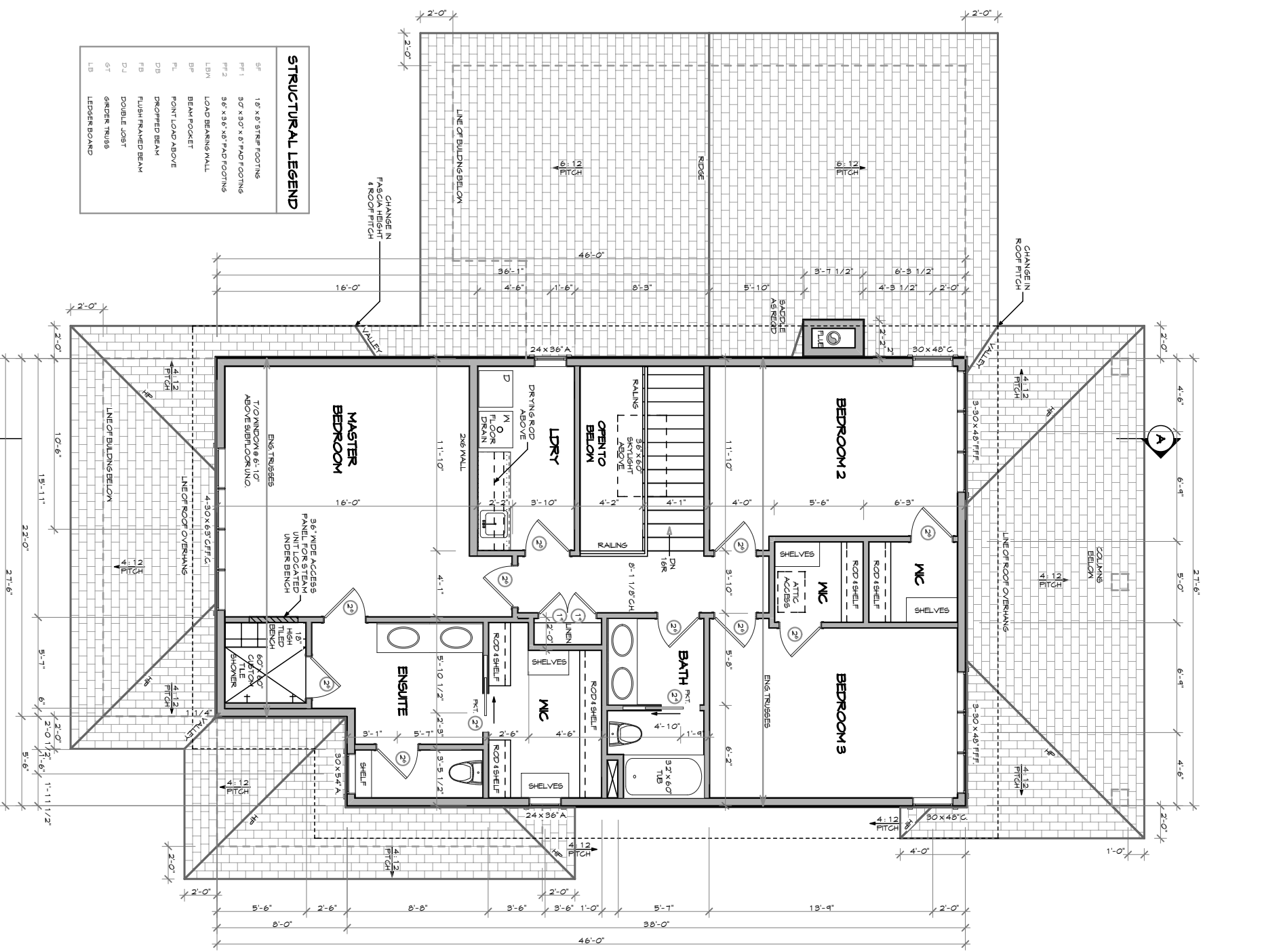
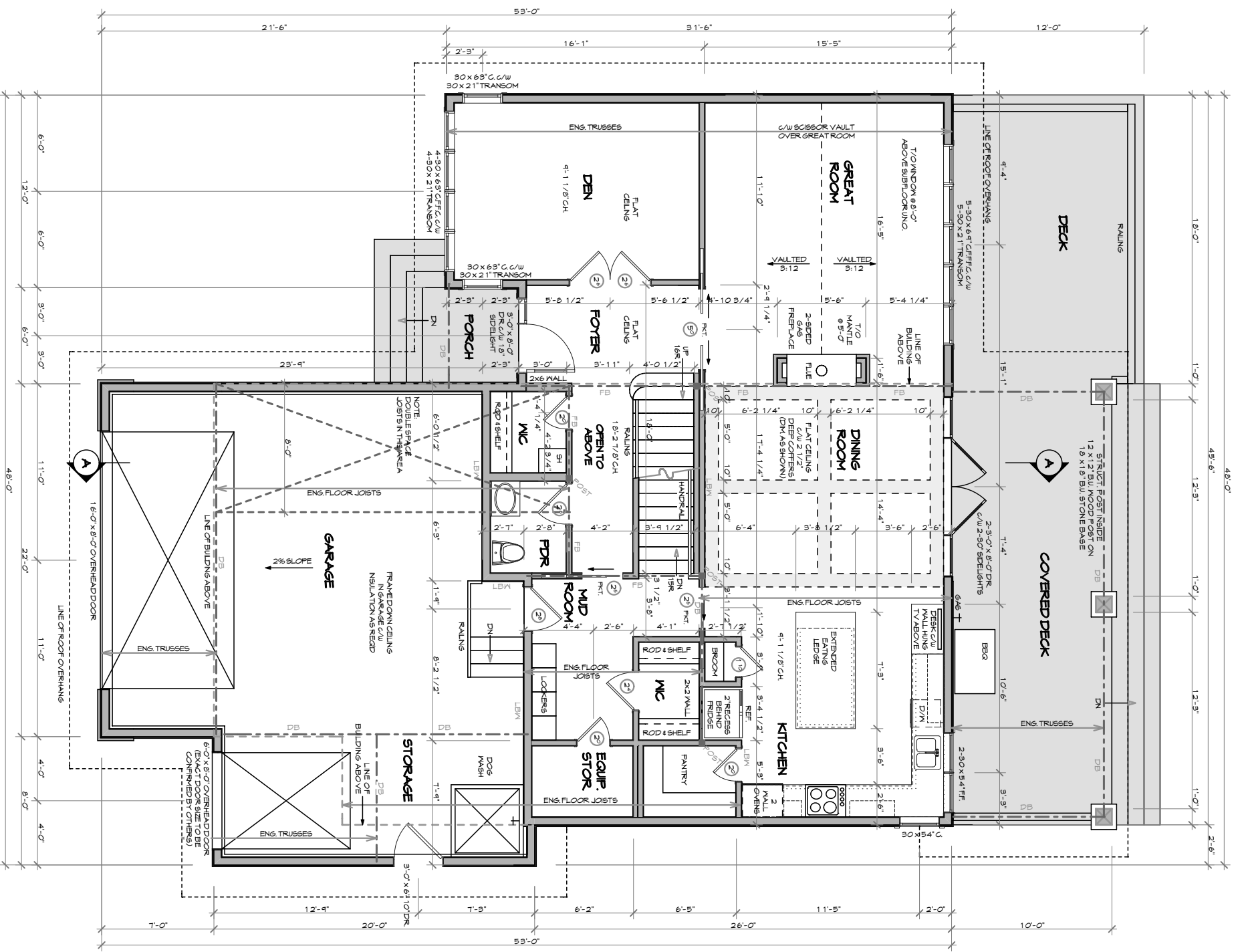
SHEET TITLE:

**NOTES / LEGENDS**

SCALE:

SHEET:

**A02**



**STRUCTURAL LEGEND**

SF	18" x 8" STRIP FOOTING
FF1	30" x 30" x 8" PAD FOOTING
FF2	36" x 36" x 8" PAD FOOTING
LBM	LOAD BEARING WALL
BP	BEAM POCKET
FL	POINT LOAD ABOVE
DB	DROPPED BEAM
FJ	FLUSH FRAMED BEAM
DJ	DOUBLE JOIST
GT	GIRDER TRUSS
LB	LEDGER BOARD

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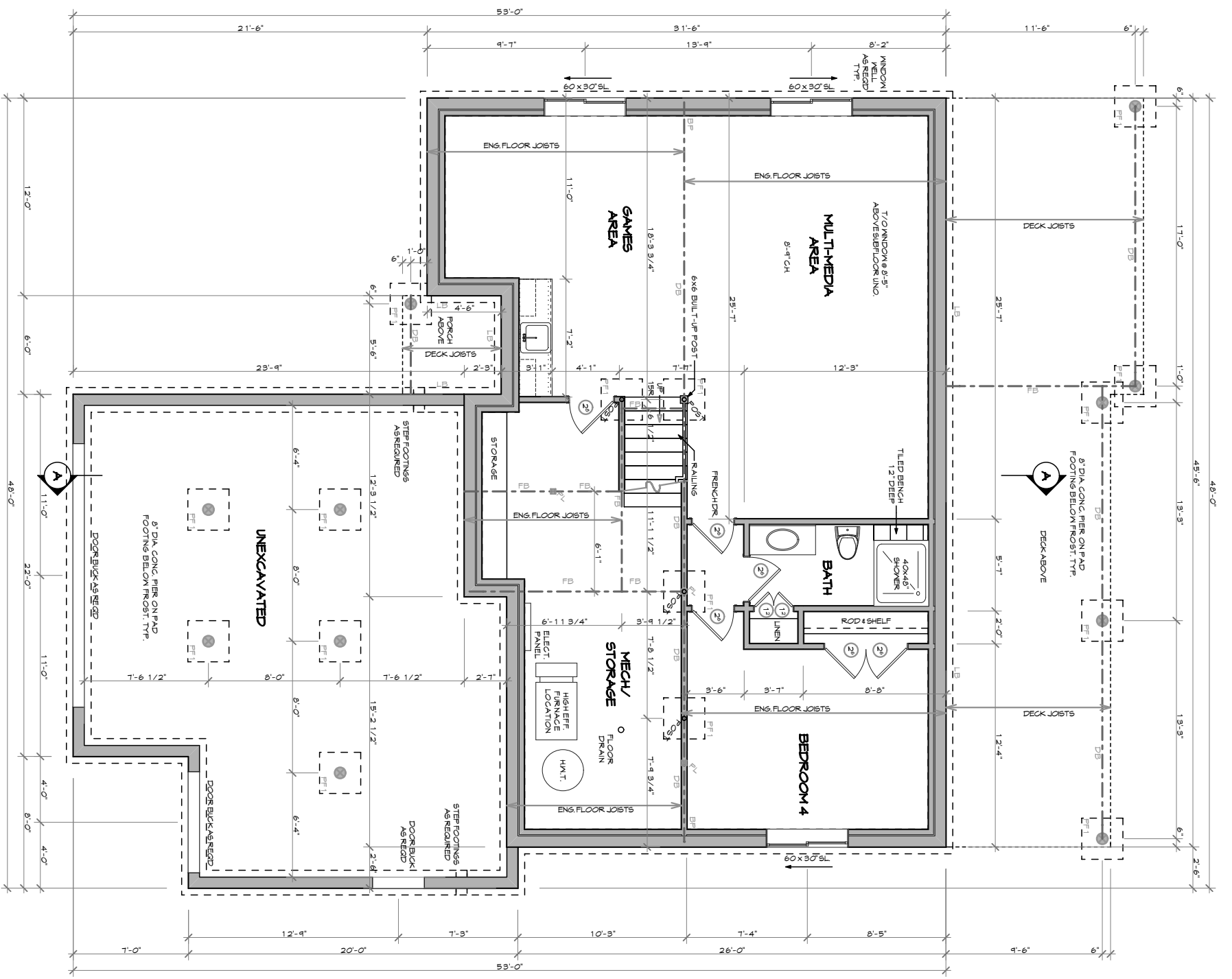


PROJECT NAME:  
**HUNT RESIDENCE**  
 19/03/2010

SHEET TITLE:  
**MAIN & UPPER FLOOR PLANS**

SCALE:  
**1/8" = 1'-0"**

SHEET:  
**A03**

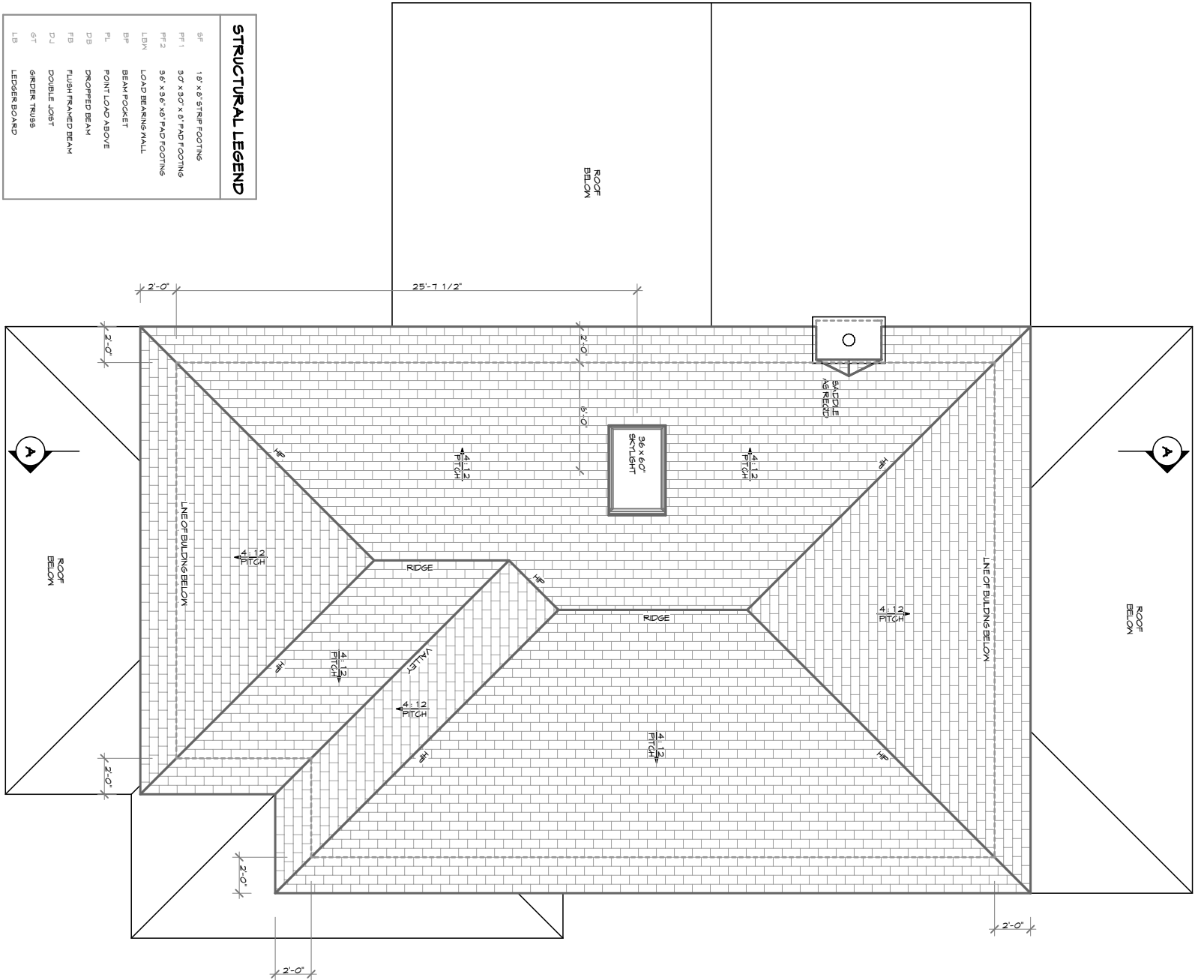


# LOWER FLOOR PLAN

MAIN FLOOR : 1305 FEET SQ.  
 UPPER FLOOR : 1221 FEET SQ.  
 TOTAL : 2526 FEET SQ.  
 DEVELOPED LOWER FLOOR : 931 FEET SQ.

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STRUCTURAL LEGEND	
SF	18" X 8" STEEP FOOTING
FF1	30" X 30" X 8" PAD FOOTING
FF2	36" X 36" X 8" PAD FOOTING
LBM	LOAD BEARING WALL
BP	BEAM POCKET
PL	POINT LOAD ABOVE
DB	DROPPED BEAM
FB	FLUSH FRAMED BEAM
DJ	DOUBLE JOIST
GT	GIRDER TRUSS
LB	LEDGER BOARD



# ROOF PLAN

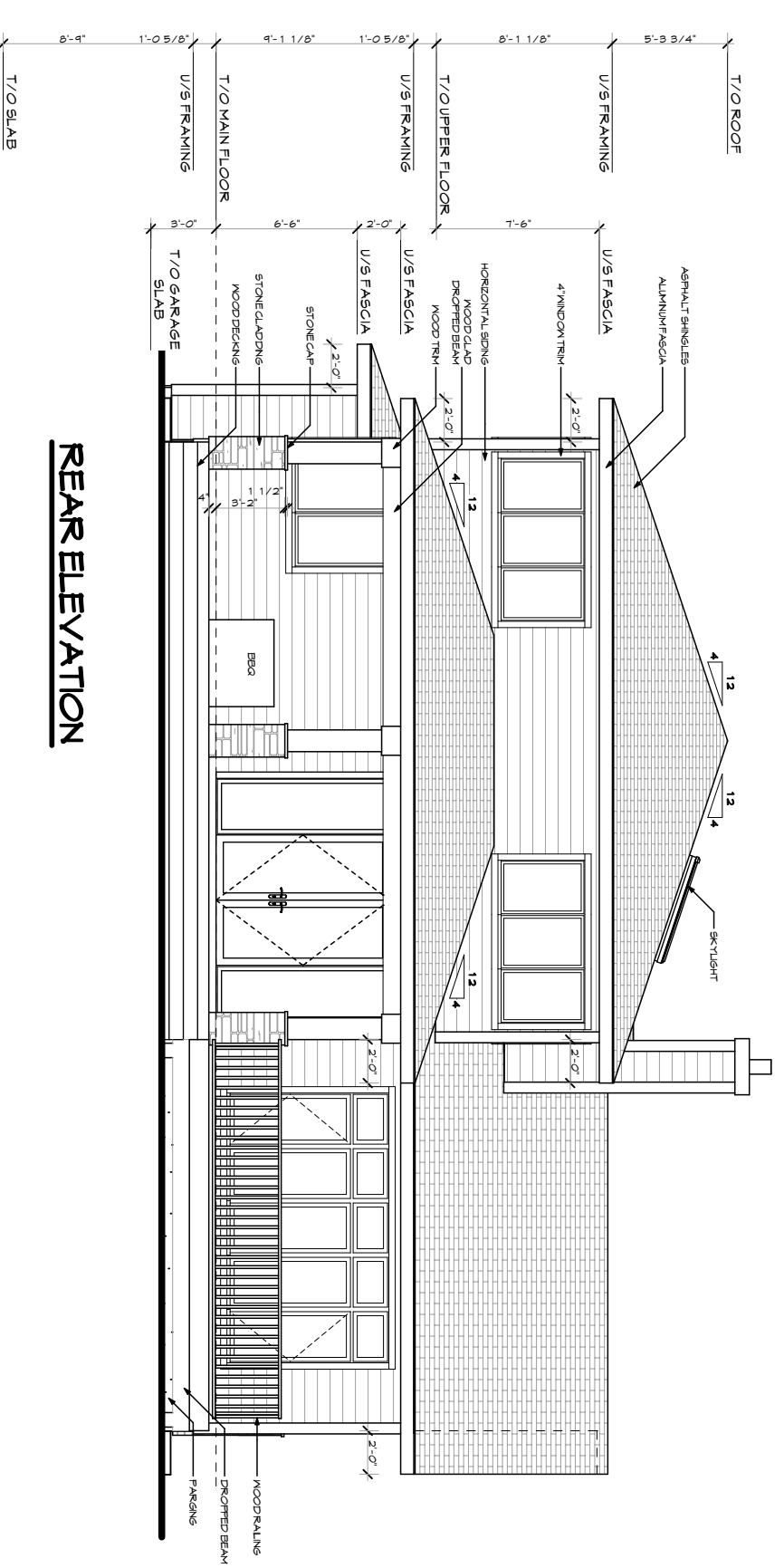
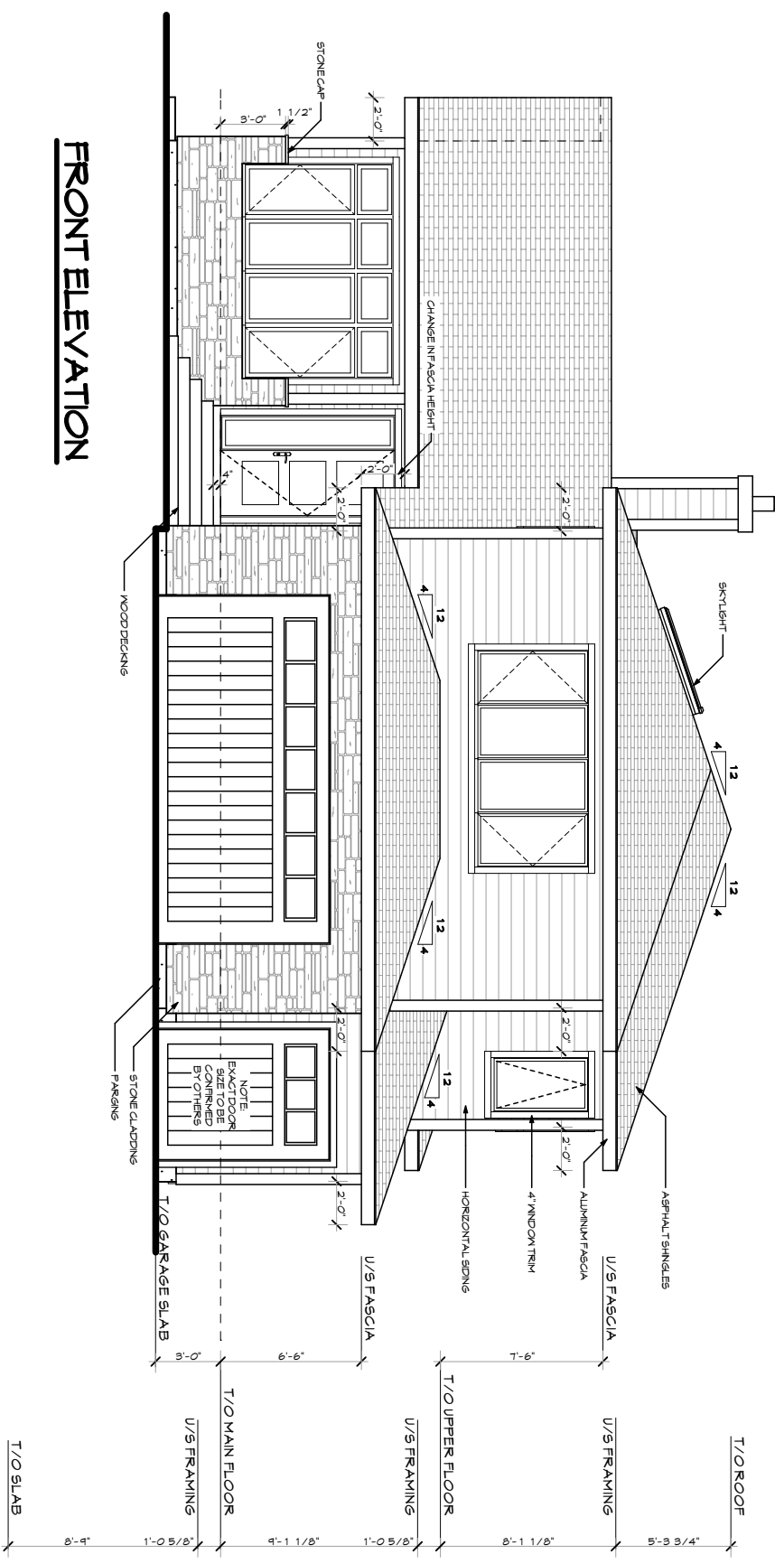


PROJECT NAME:  
**HUNT RESIDENCE**  
 19/03/2010

SHEET TITLE:  
**LOWER FLOOR & ROOF PLANS**

SCALE:  
**1/8" = 1'-0"**

SHEET:  
**A04**



**SECTION / ELEVATION NOTES**

- GRADE ELEVATIONS SHOWN DO NOT NECESSARILY REFER TO ANY SPECIFIC FEET OF FINANCIALITY. THEY ARE FOR ILLUSTRATION PURPOSES ONLY AND MAY VARY FROM THE ACTUAL GRADE OF THE SITE.
- PROVIDE FOUNDATION WATERPROOFING WHERE EXTERIOR GRADE IS ABOVE FINISH GRADE OR BASEMENT SLAB AND INSTALL 4" PERFORATED PLASTIC FOUNDATION DRAIN AND SLOPE TO STORM SEWER OR SITE DRY WELL OR NATURAL DRAINAGE CORNERS.
- BUILDER TO PROVIDE EXTERIOR FLASHING AROUND ALL CHIMNEYS AT ALL JOINTS IN EXTERIOR MATERIALS ABOVE ALL WINDOWS AND DOORS AT ALL INTERSECTIONS WITH ROOFING MATERIALS AND FLASHING TO BE PROVIDED BY BUILDER. EXTERIOR SURFACE PENETRATIONS WITH POTENTIAL EXPOSURE TO WEATHER SHALL BE CONSTRUCTIONALLY FLASHED AS BUILT FOR ANGLE FLASHING AND FLASHING PROFILES MUST BE FLASHED WITH STEEP FLASHING.
- WINDOW STYLES AND SIZES SHOWN ARE TO BE USED AS A **GUIDELINE ONLY**. EXACT DIMENSIONS, ROUGH OPENINGS AND DETAILS OF EXTERIOR DOORS AND WINDOWS SHALL BE RESPONSIBLE FOR SELECTING WINDOWS THAT MEET ENERGY AND THERMAL TOP OF EXTERIOR DOORS / TRANSOM SHOULD ALIGN WITH WINDOW CONTRACTOR ENCLOSURES AND DOORS SHALL BE TYPED.
- BUILDER IS TO ENSURE THAT ROOF IS ADEQUATELY VENTED AS PER LOCAL BUILDING CODE. VENTS NOT TO BE PLACED IN HIGHLY VISIBLE LOCATIONS.
- DOWNSPOUTS ARE NOT SHOWN FOR CLIENT'S CONTRACTOR TO VERIFY LOCATIONS WITH OWNER.
- CHIMNEYS SHALL EXTEND AT LEAST 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10'-0" OR AS PER LOCAL BUILDING CODE.
- ALL STRUCTURAL INFORMATION IS TO BE USED AS A **GUIDELINE ONLY**. ALL STRUCTURE INCLUDING FLOORING, FOOTINGS, BEAMS, LINTELS, POSTS, TRUSSES, ETC. TO BE PROVIDED BY BUILDER. FOUNDATION SHALL BE PROVIDED BY BUILDER. ALL REGULATIONS, LINTEL / BEAM REQUIRED. ALL OPENINGS IN EXTERIOR AND LOAD BEARING WALLS.
- BUILDER TO DETERMINE SERVICE LOCATIONS AND CONFIRM FINAL LOCATIONS WITH BUILDING OWNER.

THESE DRAWINGS AND THE DESIGN THEY REPRESENT ARE CONFIDENTIAL AND THE EXCLUSIVE PROPERTY OF E.V.I. THEY MAY NOT BE USED OR DUPLICATED WITHOUT EXPRESS PERMISSION OF EVANS 2 DESIGN GROUP LTD. ALL RIGHTS ARE RESERVED

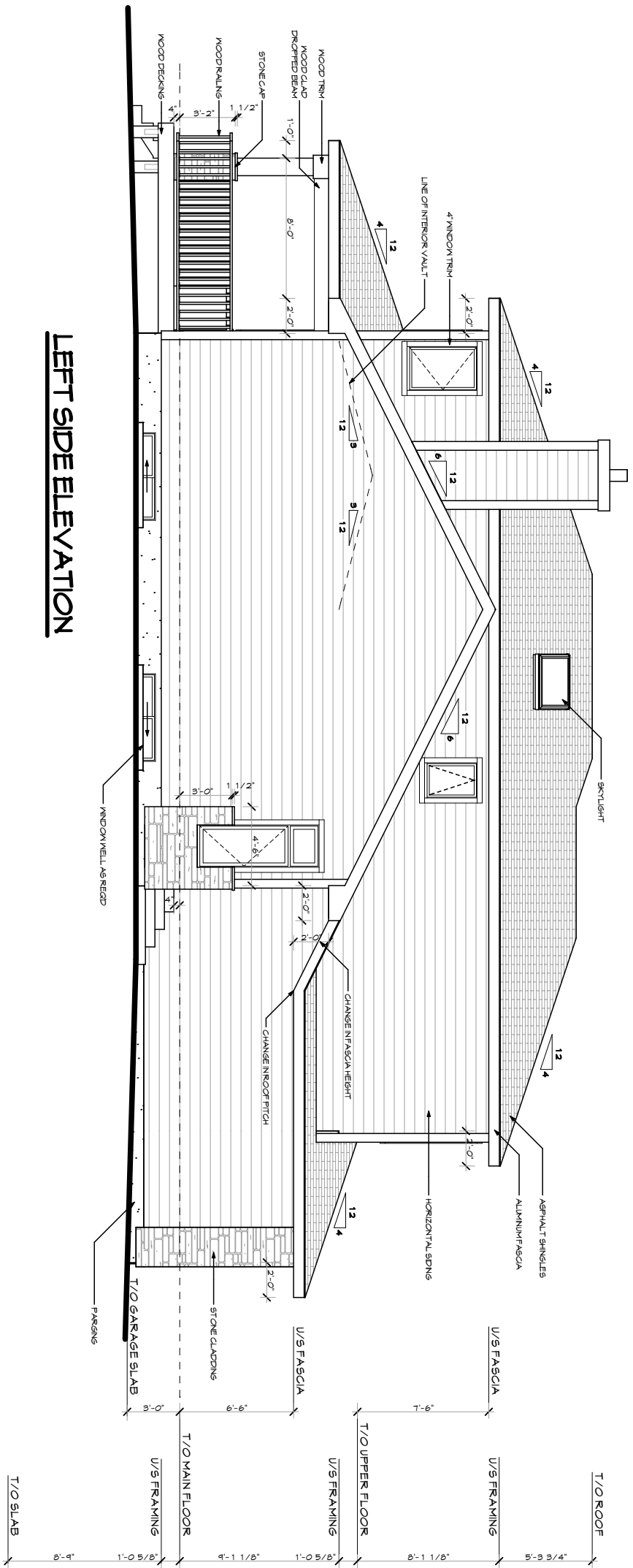


PROJECT NAME:  
**HUNT RESIDENCE**  
 19/03/2010

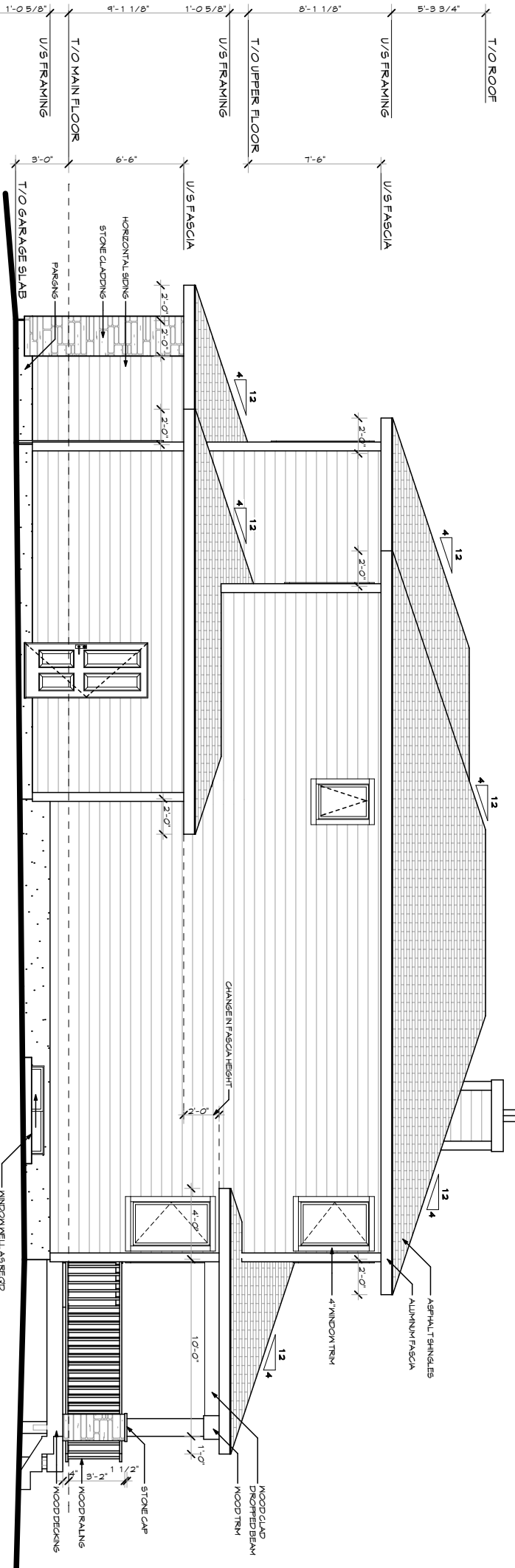
SHEET TITLE:  
**ELEVATIONS**

SCALE:  
**1/8" = 1'-0"**

SHEET:  
**A05**



**LEFT SIDE ELEVATION**



**RIGHT SIDE ELEVATION**

**SECTION / ELEVATION NOTES**

- GRADE ELEVATIONS SHOWN DO NOT NECESSARILY REFER TO ANY SPECIFIC FEET OF PROPERTY, THEY ARE FOR ILLUSTRATION PURPOSES ONLY AND MAY VARY FROM THAT OF THE SITE.
- PROVIDE FOUNDATION WATERPROOFING WHERE EXTERIOR GRADE IS ABOVE FINISH GRADE OR BASEMENT SLAB AND INSTALL 4\"/>

SHEET: **A06**

SCALE: **1/8" = 1'-0"**

SHEET TITLE: **ELEVATIONS**

PROJECT NAME: **HUNT RESIDENCE**  
19/03/2010



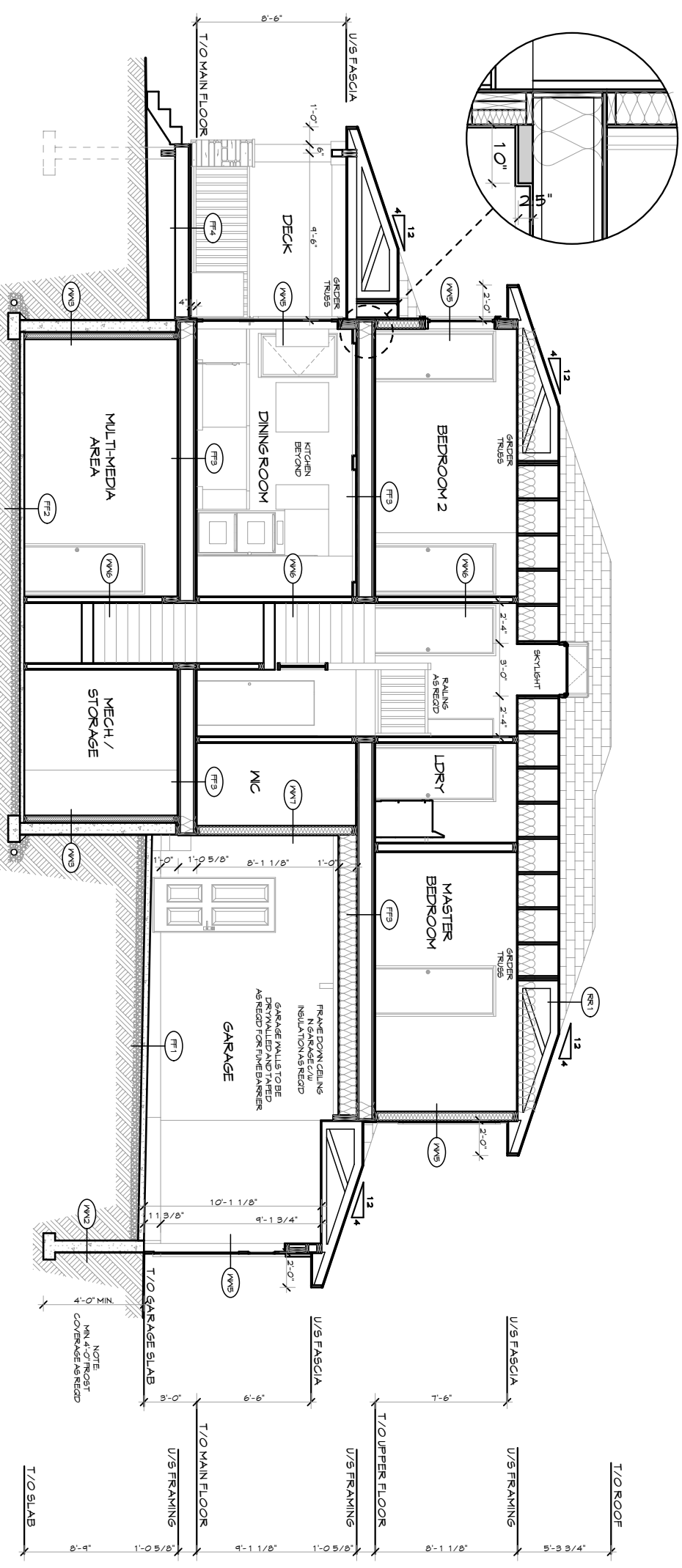
**SECTION / ELEVATION NOTES**

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- PROVIDE FOUNDATION WALL INTERLOCKS WHERE SPACES ARE USED AS POINT OF ENTRY TO GARAGE OR ATTACHED PORCHES.
- BUILDER TO PROVIDE EXTERIOR FLASHING AROUND ALL CHIMNEYS. AT ALL CHANGES IN EXTERIOR MATERIALS ABOVE ALL WINDOWS AND DOORS. AT ALL INTERSECTIONS OF EXTERIOR SURFACE PENETRATIONS WITH POTENTIAL EXPOSURE TO WATER SHALL BE FLASHED AND / OR CALLED AS PER CODE AND / OR INDUSTRY RECOMMENDED PRACTICE. FINISHES TO BE SPECIFIED BY ARCHITECT.
- WINDOW STILES AND SIZES SHOWN ARE TO BE USED AS A **GUIDANCE ONLY**. EXACT DIMENSIONS, MOUTH OPENINGS AND DETAILS OF EXTERIOR DOORS AND WINDOWS SHALL BE RESPONSIBLE FOR SELECTING AND PROVIDING. ALL STRUCTURE TOP OF BEARING WALLS, FINISHES, TRUSSES, POSTS, TRUSSES, ETC. TO BE PROVIDED BY ARCHITECT. FINISHES TO BE PROVIDED BY ARCHITECT.
- ALL STRUCTURAL INFORMATION IS TO BE USED AS A **GUIDANCE ONLY**. ALL STRUCTURE INCLUDING FLOOR JOISTS, BEAMS, LINTELS, POSTS, TRUSSES, ETC. TO BE PROVIDED BY ARCHITECT. FINISHES TO BE PROVIDED BY ARCHITECT.
- BUILDING LINTEL / BEAM REQUIRED # ALL OPENINGS IN EXTERIOR AND LOAD BEARING WALLS.
- BUILDER TO DETERMINE SERVICE LOCATIONS AND CONFIRM FINAL LOCATIONS WITH BUILDING OWNER.
- CORNER JOISTS ARE NOT SHOWN FOR CLARITY. CONTRACTOR TO VERIFY LOCATIONS WITH OWNER.
- CHIMNEYS SHALL EXTEND AT LEAST 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 1'-0" OR AS PER LOCAL BUILDING CODE.
- ALL STRUCTURAL INFORMATION IS TO BE USED AS A **GUIDANCE ONLY**. ALL STRUCTURE INCLUDING FLOOR JOISTS, BEAMS, LINTELS, POSTS, TRUSSES, ETC. TO BE PROVIDED BY ARCHITECT. FINISHES TO BE PROVIDED BY ARCHITECT.
- BUILDING LINTEL / BEAM REQUIRED # ALL OPENINGS IN EXTERIOR AND LOAD BEARING WALLS.
- BUILDER TO DETERMINE SERVICE LOCATIONS AND CONFIRM FINAL LOCATIONS WITH BUILDING OWNER.

**CONSTRUCTION ASSEMBLIES**

**WALL ASSEMBLIES**

- MW1 FROST WALL ASSEMBLY (WALK-OUT)  
RIGID INSULATION  
8" CONCRETE FOUNDATION WALL  
DAMP PROOFING
- MW2 8" FROST WALL (GARAGE)  
8" CONCRETE FOUNDATION WALL  
DAMP PROOFING (8" ABOVE FINISHED GRADE)  
PARKING (ABOVE FINISHED GRADE)
- MW3 CONCRETE FOUNDATION WALL ASSEMBLY  
1/2" GYPSUM BOARD WALL FINISH UNLESS NOTED OTHERWISE  
6 MIL POLY VAPOR BARRIER  
R-12 BATT INSULATION UNLESS NOTED OTHERWISE  
2x4 K.D. SPRUCE/PINE STUDS @ 16" O/C  
1" AIR SPACE  
8" CONCRETE FOUNDATION WALL  
DAMP PROOFING (8" ABOVE FINISHED GRADE)  
PARKING (ABOVE FINISHED GRADE)
- MW4 CONCRETE FOUNDATION WALL ASSEMBLY w/ FINISH  
1/2" GYPSUM BOARD WALL FINISH UNLESS NOTED OTHERWISE  
6 MIL POLY VAPOR BARRIER  
R-12 BATT INSULATION  
2x4 K.D. SPRUCE/PINE STUDS @ 16" O/C  
1" AIR SPACE  
8" CONCRETE FOUNDATION WALL  
3/8" EXTERIOR GRADE PLYWOOD SHEATHING  
BUILDING PAPER  
FINISH AS SPECIFIED
- MW5 EXTERIOR WALL ASSEMBLY  
1/2" GYPSUM BOARD WALL FINISH UNLESS NOTED OTHERWISE  
6 MIL POLY VAPOR BARRIER  
R-20 BATT INSULATION  
2x6 K.D. SPRUCE/PINE STUDS @ 16" O/C (P.T. MATERIAL BELOW GRADE)  
3/8" EXTERIOR GRADE PLYWOOD SHEATHING  
BUILDING PAPER  
FINISH AS SPECIFIED
- MW6 INTERIOR PARTITION WALL ASSEMBLY (2x4)  
1/2" GYPSUM BOARD WALL FINISH UNLESS NOTED OTHERWISE  
(MOISTURE RESISTANT GYPSUM IN BATHROOMS - WOODER BOARD IN SHOWERS)  
2x4 K.D. SPRUCE / PINE STUDS @ 16" O/C  
ACOUSTICAL INSULATION WHERE APPLICABLE  
1/2" GYPSUM BOARD WALL FINISH UNLESS NOTED OTHERWISE
- MW7 INTERIOR PARTITION WALL ASSEMBLY (2x6) LOAD BEARING  
1/2" GYPSUM BOARD WALL FINISH UNLESS NOTED OTHERWISE  
(MOISTURE RESISTANT GYPSUM IN BATHROOMS - WOODER BOARD IN TILED SHOWERS)  
2x6 K.D. SPRUCE / PINE STUDS @ 16" O/C  
ACOUSTICAL INSULATION WHERE APPLICABLE  
1/2" GYPSUM BOARD WALL FINISH UNLESS NOTED OTHERWISE



**BUILDING SECTION "A-A"**  
SCALE 1/8" = 1'-0"

**FLOOR ASSEMBLIES**

- FF1 GARAGE SLAB ASSEMBLY (4")  
4" CONCRETE SLAB - REINFORCED AS PER STRUCTURAL REQ.  
6 MIL POLY VAPOR BARRIER  
6 MIN CLEAN COMPACTED GRAVEL  
UNDISTURBED SOIL
- FF2 BASEMENT ASSEMBLY  
3" CONCRETE SLAB - REINFORCED AS PER STRUCTURAL REQ.  
6 MIL POLY VAPOR BARRIER  
6 MIN CLEAN COMPACTED GRAVEL  
UNDISTURBED SOIL
- FF3 RESIDENCE FLOOR ASSEMBLY  
FINISHED FLOOR AS SPECIFIED  
(1/4" PLYWOOD UNDER TILED AREAS)  
3/4" T&G EXTERIOR GRADE FIR PLYWOOD (GLUED AND SCREMED)  
TJI FLOOR SYSTEM - AS PER STRUCTURAL REQ.  
ACOUSTICAL INSULATION (WHERE APPLICABLE)  
R-28 BATT INSULATION (CANTILEVERED FLOOR AREAS)  
CROSS BRACING AS REQ'D  
1/2" CD GYPSUM BOARD OR 5/8" GYPSUM BOARD (INTERIOR SPACE)  
FINISH AS SPECIFIED (INTERIOR SPACE)  
ALUMINIUM VENTED SOFFIT (CANTILEVERED FLOOR AREAS)
- FF4 EXTERIOR DECK ASSEMBLY OPTION A  
1 1/4" EXTERIOR GRADE WOOD DECKING  
WOOD JOISTS - AS PER STRUCTURAL REQ.
- FF5 EXTERIOR DECK ASSEMBLY OPTION B  
DURADECK FINISH  
3/4" T&G EXTERIOR GRADE FIR PLYWOOD (GLUED & SCREMED)  
WOOD JOISTS - AS PER STRUCTURAL REQ. (SLOPED)  
CROSS BRACING AS REQ'D  
ALUMINIUM VENTED SOFFIT
- FF6 EXTERIOR DECK ASSEMBLY OPTION C  
TILE FINISH AS SPECIFIED (WHERE APPLICABLE)  
CONCRETE TOPPING REINFORCED WITH STRUCT REQ. (SLOPED)  
WATER RESISTANT MEMBRANE APPLICABLE  
3/4" T&G EXTERIOR GRADE FIR PLYWOOD (GLUED & SCREMED)  
WOOD JOISTS - AS PER STRUCTURAL REQ.  
R-28 BATT INSULATION (IF HEATED SPACE BELOW)  
1/2" CD GYPSUM BOARD OR 5/8" GYPSUM BOARD (INTERIOR SPACE)  
FINISH AS SPECIFIED (INTERIOR SPACE)  
ALUMINIUM VENTED SOFFIT (EXTERIOR SPACE BELOW) (WHERE APPLICABLE)
- FF1 PATIO SLAB ASSEMBLY  
4" CONCRETE SLAB - REINFORCED AS PER STRUCTURAL DRAWINGS  
6 MIL POLY VAPOR BARRIER  
6 MIN CLEAN COMPACTED GRAVEL  
UNDISTURBED SOIL

**ROOF ASSEMBLIES**

- FR1 ROOF ASSEMBLY - SLOPED  
FINISHED ROOFING AS SPECIFIED (CEDAR SHAKES)  
BUILDING PAPER  
3/8" EXTERIOR GRADE ROOF SHEATHING c/w H CLIPS  
PRE-ENGINEERED ROOF JOISTS / TRUSSES (SEE STRUCTURAL)  
MINIMUM R-40 BATT INSULATION (ABOVE LIVING SPACE)  
6 MIL POLY VAPOR BARRIER (ABOVE LIVING SPACE)  
1/2" CD GYPSUM BOARD OR 5/8" GYPSUM BOARD  
ALUMINIUM VENTED SOFFIT @ EAVES

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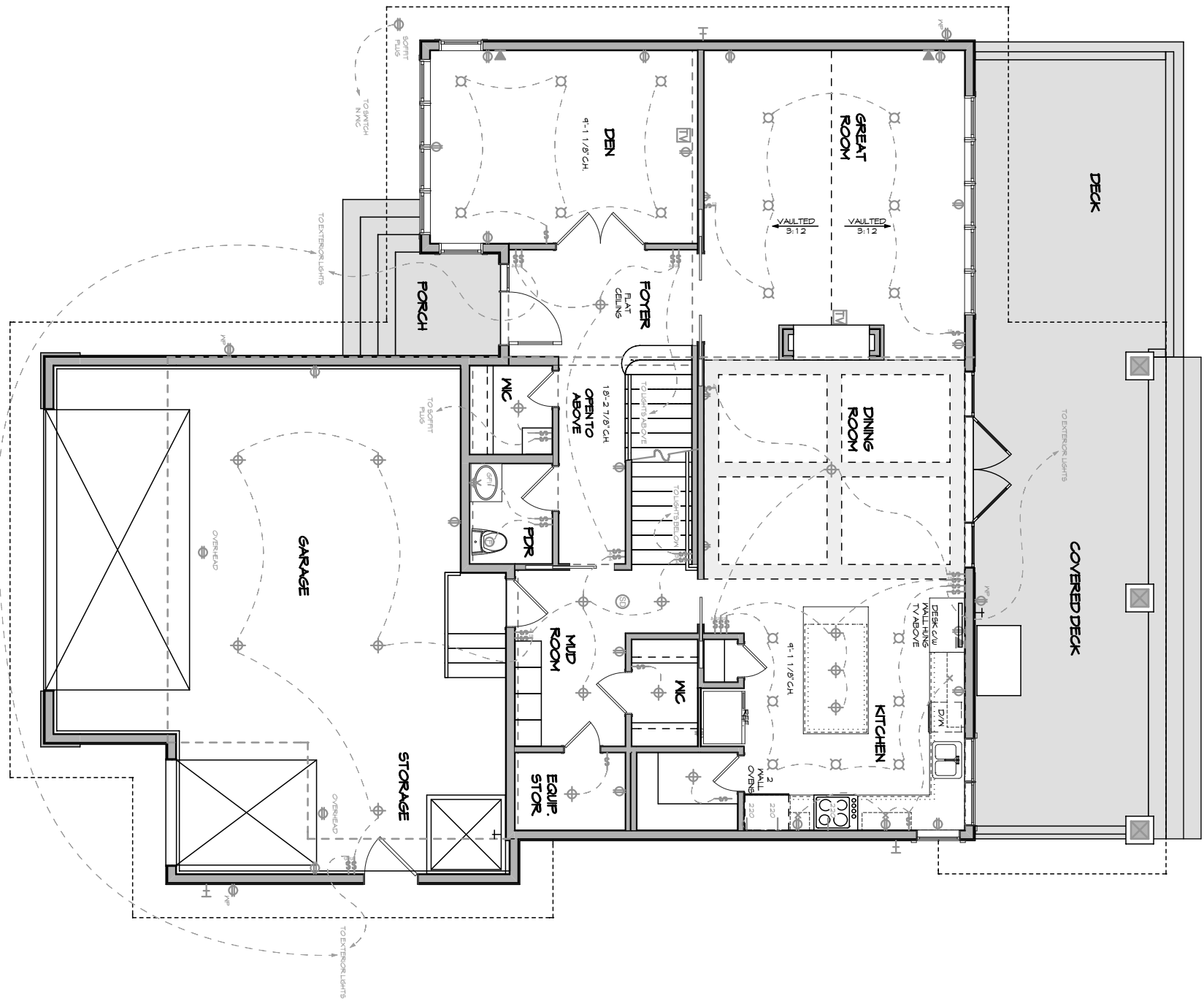
SHEET: **A07**

SCALE:

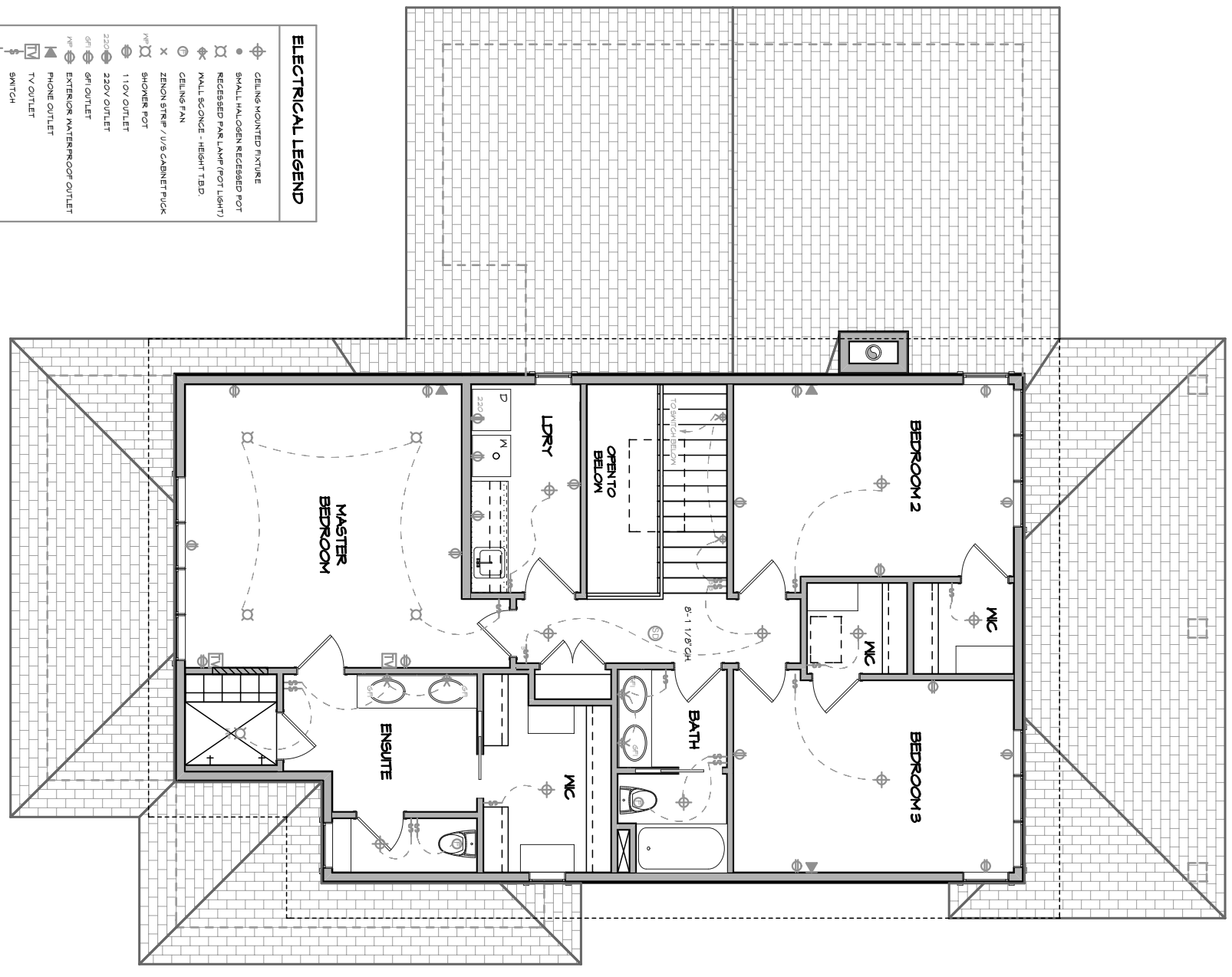
SHEET TITLE: **BUILDING SECTIONS**

PROJECT NAME: **HUNT RESIDENCE**  
19/03/2010





**MAIN FLOOR ELECTRICAL PLAN**



**UPPER FLOOR ELECTRICAL PLAN**

ELECTRICAL LEGEND	
	CEILING MOUNTED FIXTURE
	SMALL HALOGEN RECESSED POT
	RECESSED PARK LAMP (FOOT LIGHT)
	WALL SCONCE - HEIGHT 7'3.0"
	CEILING FAN
	ZENON STRIP / V/S CABINET FLICK
	SHOWER POT
	110V OUTLET
	220V OUTLET
	GFI OUTLET
	EXTERIOR WATERPROOF OUTLET
	PHONE OUTLET
	TV OUTLET
	SWITCH
	5 WAY SWITCH
	4 WAY SWITCH
	SMOKE DETECTOR
	HOSE BIB

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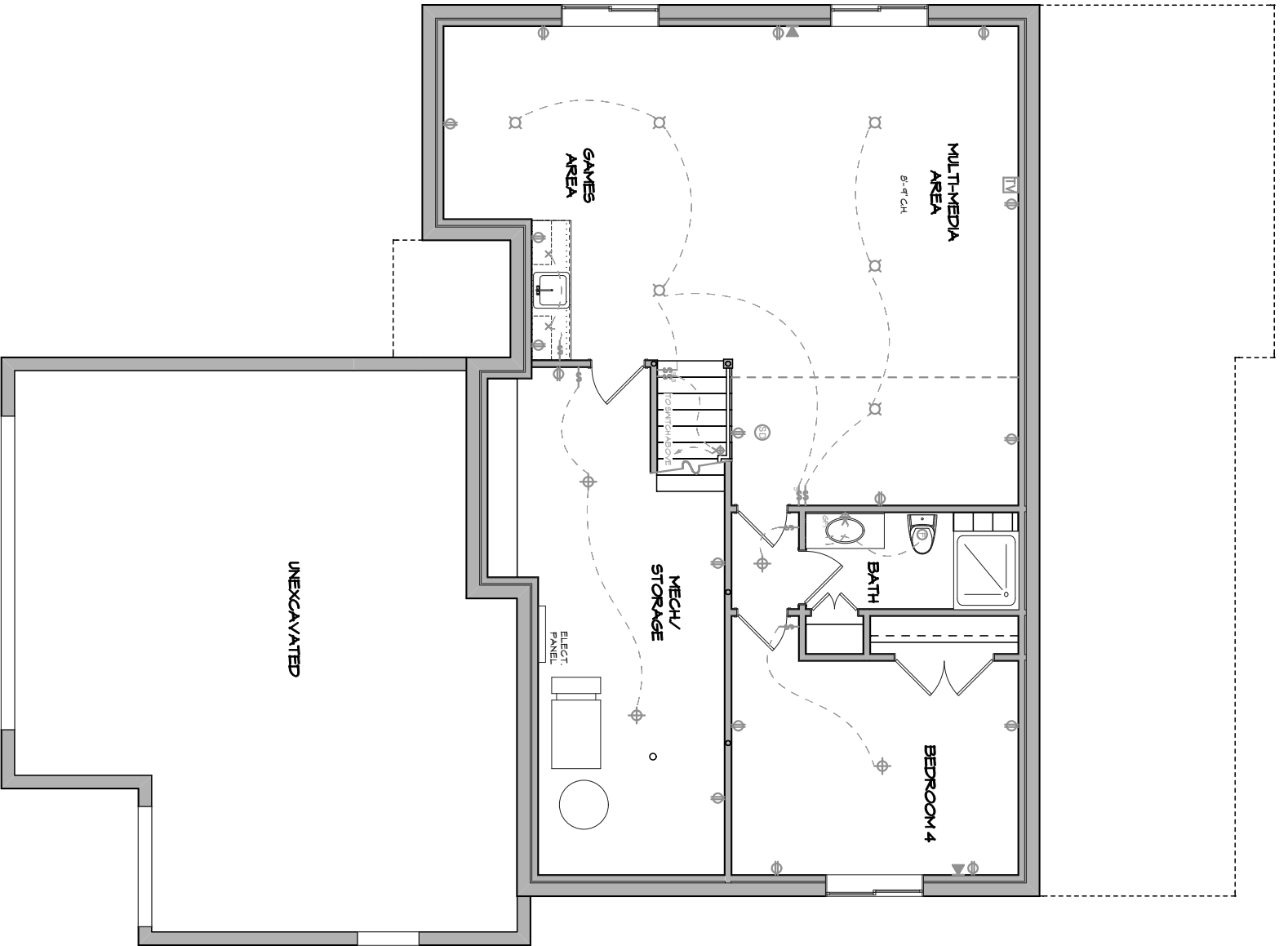
PROJECT NAME:  
**HUNT RESIDENCE**  
 19/03/2010

SHEET TITLE:  
**MAIN & UPPER ELECTRICAL**

SCALE:  
**1/8" = 1'-0"**

SHEET:  
**EO1**





# LOWER FLOOR ELECTRICAL PLAN

ELECTRICAL LEGEND	
	CEILING MOUNTED FIXTURE
	SMALL HALOGEN RECESSED POT
	RECESSED PARK LAMP (FOOT LIGHT)
	WALL SCONCE - HEIGHT 7'3"
	CEILING FAN
	ZENON STRIP / US CABINET PICK
	SHOWER POT
	110V OUTLET
	220V OUTLET
	GFI OUTLET
	EXTERIOR WATERPROOF OUTLET
	PHONE OUTLET
	TV OUTLET
	SWITCH
	5 WAY SWITCH
	4 WAY SWITCH
	SMOKE DETECTOR
	HOSE BIB

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PROJECT NAME:  
**HUNT RESIDENCE**  
 19/03/2010

SHEET TITLE:  
**LOWER FLOOR ELECTRICAL**

SCALE:  
 1/8" = 1'-0"

SHEET:  
**E02**